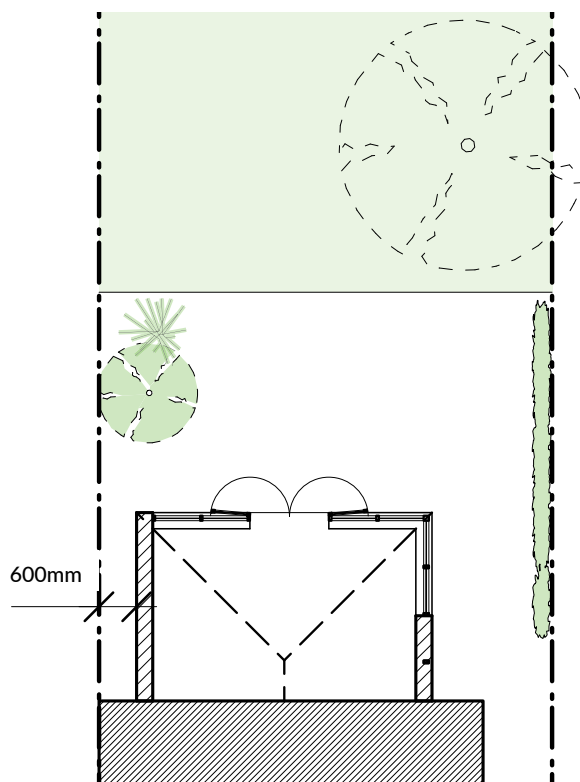


2. GUIDELINES FOR CONSERVATORIES

All conservatories are subject to approval under the Scheme of Management even though they may be exempt from planning permission:

Conservatory design and size should be appropriate to the house and garden and should not have a negative impact on neighbours in terms of scale, massing, privacy and light pollution. There must be adequate access for cleaning and maintaining walls and roofs within the grounds of the property – normally a passage of at least 0.6m (2ft) between conservatory walls and the boundary. This is not a requirement where the conservatory is built against a suitable party wall.

EXAMPLE PLAN OFFSET FROM BOUNDARY



For properties constructed pre-1940 the material should be timber. The roof framing may be partially powder coated aluminium, 1:5 frame details would be required for approval. Aluminium or steel heritage conservatory products may be considered but must be in keeping with the style and character of the property.

UPVC conservatories are only considered acceptable for post-1940s properties, subject to the frame details, which must also be in keeping with the main property.

The design of a conservatory can affect its environmental credentials. Using renewable materials such as wood from an FSC source has less environmental impact than aluminium or steel. The orientation and careful placement of windows can maximise the amount of natural light and avoid overheating in summer. Double and triple glazed windows with thermally broken frames will help to minimise the amount of heat loss and can help keep the space cool in summer.

An experienced professional can advise you about the environmental design of your conservatory. Opening windows and blinds are a good way of moderating the internal temperature, rather than resorting to installing air conditioning or mechanical ventilation.

WHAT TO INCLUDE IN YOUR APPLICATION

- Existing and proposed plans and elevations with materials, heights and ground levels annotated. Please include the plan dimensions and distance of side walls to nearby boundaries.
- 1:5 frame details will be required. Most manufacturers will be able to provide this.