



## What is The Dulwich Estate?

### **The Dulwich Estate charity:**

known as such since 1995, is the modern incarnation of the foundation called Alleyn's College of God's Gift at Dulwich established in 1619 by Edward Alleyn, a successful actor (a contemporary of Shakespeare) and entrepreneur.

Alleyn bought the Manor of Dulwich in 1605 and under letters patent granted by King James 1, established his College in Dulwich to *endure forever*. The objects of the Charity, through its Beneficiaries, continue today to meet Alleyn's aims of providing:

#### ■ Access to education

- Alleyn's School
- Dulwich College
- James Allen's Girls' School
- Central Foundation Schools of London (The boys' school in Cowper St, EC2 & the girls' school in Bow, E3)
- St Olave's & St Saviour's Schools Foundation (The boys' school in Orpington & the girls' school off the New Kent Road, SE1)

### **The Dulwich Almshouse Charity:**

#### ■ Relieving need

- 16 Almshouses and an outreach programme.

### **Christ's Chapel:**

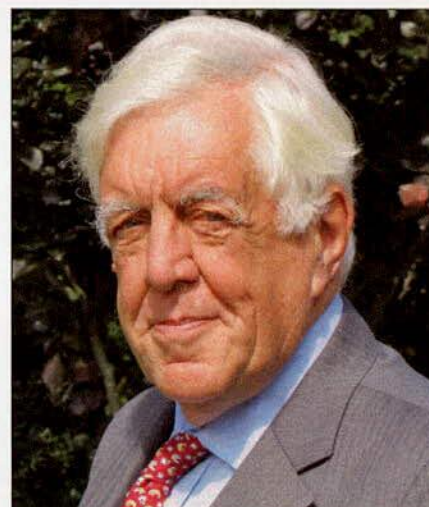
■ Providing a place for worship in Dulwich Village.

Under the Charity's Scheme, made by order of the Charity Commission, the Beneficiaries receive the annual net income of The Dulwich Estate.

For the financial year ended 31 March 2011, the distribution was £5,644,537, with the school Beneficiaries receiving £5,504,537, the Almshouse Charity £110,000 and the Chapel Charity £30,000.

The Charity's income is derived from three main sources: rent from property in Dulwich, rent from property out of Dulwich and investment income.

Property in Dulwich comprises residential houses and flats and commercial property: the Estate is landlord of business premises in Dulwich Village, West Dulwich and in Herne Hill.



**David Sizer, Chairman of the Board of Trustees of The Dulwich Estate**

I am pleased to introduce the second edition of *Bulletin*, published by the Trustees to keep residents informed about the activities of The Dulwich Estate, distinguishing between its prime purpose as a charity and the Trustees' role as Managers of the Scheme of Management.

I hope you will find this newsletter informative and useful. I would also invite you to browse our website for detailed information (including our Annual Report and Accounts for the year ended 31 March 2011):

[www.thedulwichestate.org.uk](http://www.thedulwichestate.org.uk)

# What are the Trustees' obligations?

THE Trustees of the Estate are under a legal obligation to manage the Charity's assets in the best interests of the Beneficiaries.

This means that its property can only be let on commercial terms: no individual or group of tenants can occupy property at a level of rent below the market value.

Similarly, the Charity has little

scope to dictate the range of goods and services provided by its commercial tenants: this is market led - traders set up businesses to satisfy what they perceive to meet the demands of residents.

Trustees hope that these enterprises are supported by residents to ensure that the goods and services continue to be available

locally, adding to the overall environment of Dulwich. This is particularly important in these difficult economic times when even large public companies have failed (as we have seen with the demise of Threshers and Oddbins). However, the Estate has been fortunate in having relatively few shops vacant at any one time.

## A velodrome-atic success

WITH the Olympic Games less than a year away, the Estate is pleased to have agreed with the British Cycling Federation terms for a new lease which has enabled it to resurface the track of this historic site - the venue for the 1948 Olympic Cycling.

The Trustees wish the Save the Herne Hill Velodrome Campaign (started by local resident Hillary Peachey) every success in its aim of raising funds to build a new pavilion. This will provide the facilities which will help secure, for the long-term, cycling and related activities at the Velodrome.

## Christ's Chapel: A Guide

LOCAL resident and historian, Brian Green, has recently written this splendid guide, published by the Trustees.

The *Guide*, 25 pages in full colour, traces the history of the Chapel from its consecration in 1616 to the present day.

Copies are available in the Chapel, from local booksellers and Dulwich Picture Gallery, price £5.

## Crown & Greyhound proposal

THE Estate is in the process of submitting a planning application to provide what is currently lacking in Dulwich: hotel accommo-

dation. The pub and a restaurant will remain on the ground floor but there is scope to convert the upper floors to provide 20 bedrooms and a meeting/function room.

It is hoped that traders in the Village will benefit from the custom of those staying in the hotel.

## Dairy Site plan

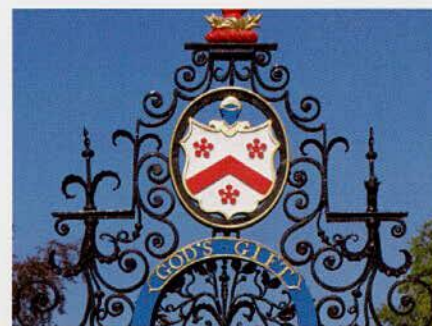
THE Estate's planning application for a mixed use scheme on the former Dairy Site in Croxted Road, providing commercial premises at ground level and residential accommodation above, was well received by residents but has been rejected by Lambeth Council's planning department.

The scheme will be resubmitted as the Estate is keen to revitalise this derelict site, providing both employment and housing.

## Almshouse warden retires after 14 years

MRS CAROL Wilson retired at the end of August after 14 years as Warden of Edward Alleyn House. The Trustees of the Almshouse Charity were pleased to appoint Mrs Shelley Miles as her replacement.

The Warden is on hand to assist those living in the almshouses and also maintains contact with a number of elderly local residents in their own homes under the Charity's outreach programme. Further information on the Almshouse Charity is available from the Estate's website (under 'Beneficiaries').



# The Scheme of Management explained

THERE is often confusion over the role and responsibility of The Dulwich Estate (the charity) and its Scheme of Management.

Whilst the prime role of The Dulwich Estate, the charity, has been explained on page 1, owners of residential property in Dulwich sometimes question why The Dulwich Estate should be levying a charge on their property, which is in addition to the Council Tax they have to pay.

The simple answer is that the Scheme Charge is to defray the cost of running the Scheme of

Management.

The Scheme Charge does not form part of the Charity's income nor is the Estate permitted to fund the operation of the Scheme since it is a non-charitable activity: the Scheme of Management exists simply to preserve the visual amenity of the Estate for the common benefit.

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It is the result of the effective application of the Scheme of Management that Dulwich has remained to this day such an attractive and leafy haven in South London.

The Scheme of Management has over the years been successful in preserving trees and restricting the type of alterations (seen elsewhere) which would otherwise have a negative impact on the pleasant and unique environment that Dulwich residents continue to enjoy.

## *So how did the Scheme of Management come about?*

PRIOR to the Leasehold Reform Act 1967, The Dulwich Estate owned the freehold of virtually all the property within its boundary (covering some 1,500 acres), with residents being leaseholders.

Following the Act, most leaseholders (approaching 4,000) exercised their right to acquire the freehold of their property.

In 1974 the High Court of Justice approved the Scheme of Management, which effectively enabled The Dulwich Estate to continue to control development on the Estate and thus preserve amenity in the way it had done as freeholder, prior to the Act. The purpose of retaining control was to ensure that the value of the Charity's property was maintained and enhanced by keeping Dulwich as an attractive area in which to live and work. The Managers of the Scheme are the Trustees of The Dulwich Estate.

Under the terms of the Scheme, freeholders must obtain the prior written approval of the Managers before felling or pruning trees or altering the external appearance of a property or adding any additional building or structure. Consent must be obtained regardless of whether planning approval is required from the local authority: there is no provision in the Scheme for 'permitted development'.

It is the policy of the Managers to protect trees and to maintain the architectural integrity of individual properties and streets in order to preserve the character (and thus, the amenity) of the area.

There are 28 Amenity Areas specifically listed in and maintained under the Scheme, the largest of which is Dulwich Woods. These Amenity Areas are listed on our website.

## **The cost of the Scheme**

THE Managers are very cost conscious and have the aim of keeping any rise in year-on-year costs to a minimum.

However, actual expenditure on Amenity Areas can be unforeseen, as in the recent past when the level of necessary tree works has been relatively high. For the last financial year, 2010/2011, total expenditure was £381,872 towards which the Estate contributed £57,283 in respect of its own property.

The costs of operating the Scheme and the income therefrom are kept as a separate cost centre, distinct from the administration of the Charity.

The Scheme Administrator is the sole employee, with two part-time consultants – an architect and a tree consultant.

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## The cost of the Scheme

In addition, the staff of The Dulwich Estate provide support, keeping time records in order to recharge their cost to the Scheme.

The Charge varies from property to property and is based on Council Tax Bands. The actual annual Charges by Band for 2010/11 were:

- Band 'A' £38.20
- Band 'B' £44.57
- Band 'C' £50.93
- Band 'D' £57.30
- Band 'E' £70.03
- Band 'F' £82.77
- Band 'G' £95.50
- Band 'H' £114.60

The net effect is designed to be cost-neutral to the Charity: the Estate makes neither a profit nor a loss in operating the Scheme.

The accounts of the Scheme, the apportionment of costs and the Scheme Charge are audited and available on our website.

## Applications now available to view on-line

YOU can now view applications submitted for consent on our website:

[www.thedulwichestate.org.uk/som/view-applications](http://www.thedulwichestate.org.uk/som/view-applications)

This shows the status of pending applications and those applications which have been decided (approved or rejected).

The list can be sorted alphabetically and thus shown by street.

## Advice on applications

IN ORDER to assist freeholders who wish to make changes to their property which require consent under the Scheme of Management, the Managers have published General Guidance Notes and a series of Policy Guidelines, available from the Scheme Office and our website. These cover:

- Tree works
- Boundary changes - walls, hedges, fences, railings and gates
- Conservatories
- Hard standings in front gardens
- Extensions
- Loft conversions
- External repairs (including replacement roofs and repointing)
- Replacement doors and windows
- Change of use
- Swimming pools
- Shop fronts: guidelines for design
- Garden structures
- Solar energy panels
- Satellite dish aerials

If you are considering any works to your property or to your trees, you are encouraged to contact the Administrator, who will arrange a meeting with the Consultant Architect or the Tree Consultant:

When works are proposed that will change the external appear-

ance or use of a property, neighbours and The Dulwich Society [www.dulwichsociety.com](http://www.dulwichsociety.com) are consulted for their views on the potential impact on amenity. If the works comply with the Policy Guidelines and no objections are received, a licence can be issued.

In cases where objections are received, applications (together with all representations received either in favour or against the proposals) are referred to the Scheme of Management Committee, which meets every month.

The Committee, comprising 6 Trustees, carefully considers all aspects of the application. Invariably, there are cases where the Managers will not approve an application due to the adverse impact on amenity.

However, wherever possible, the applicant is encouraged to submit a revised proposal which would be mutually acceptable.

A dispute between the Managers and an owner can be referred to arbitration, with an Arbitrator being appointed by the President of the Royal Institution of Chartered Surveyors.

Fortunately, such a course of action is rare but, where this has happened, in the majority of cases, the Managers' decision has been upheld as reasonable.

The Scheme of Management Office,  
The Old Grammar School, Burbage Road,  
Dulwich, SE21 7AF.

**Tel:020 8299 5666**

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